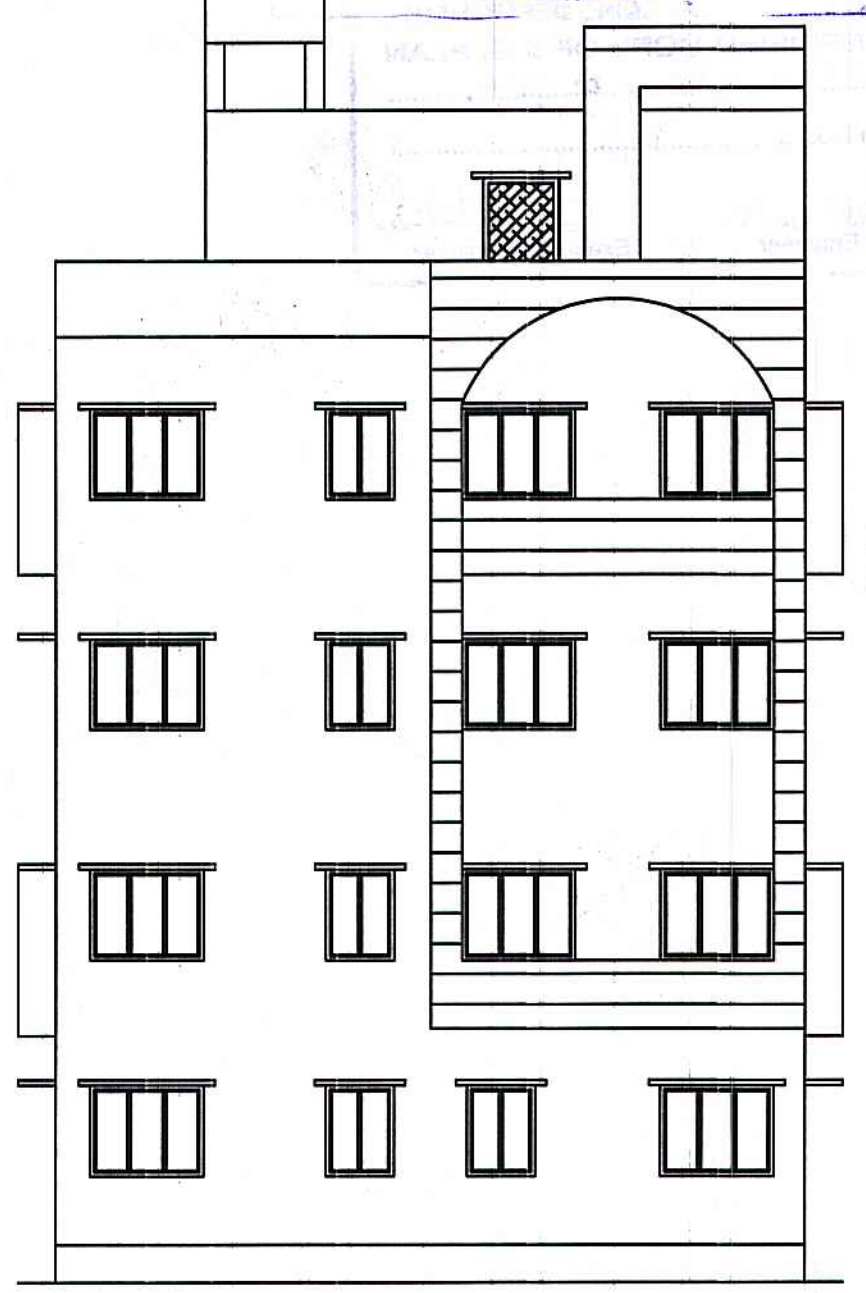
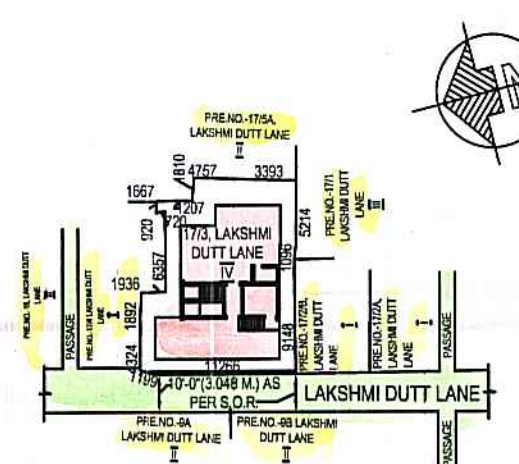
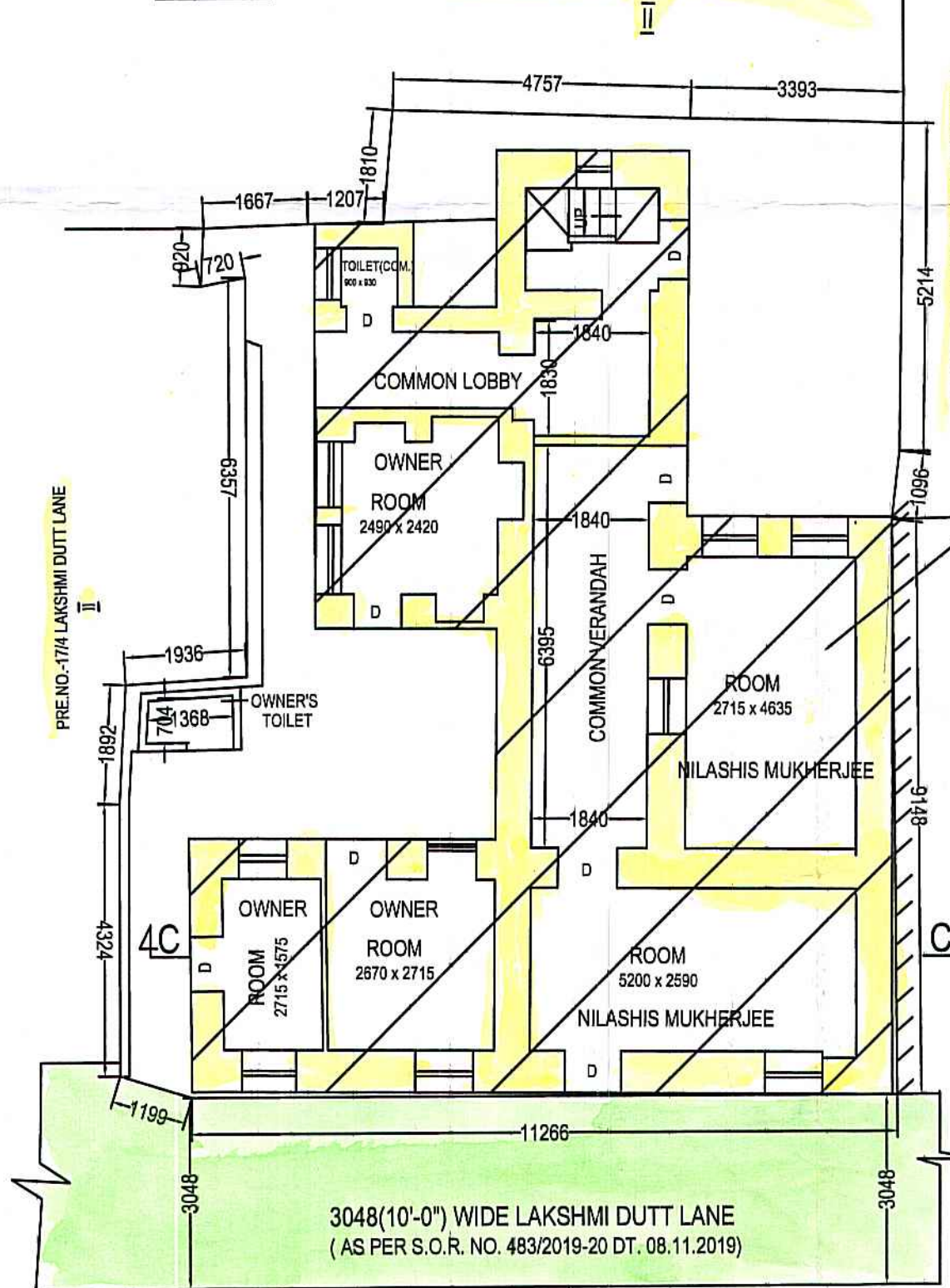




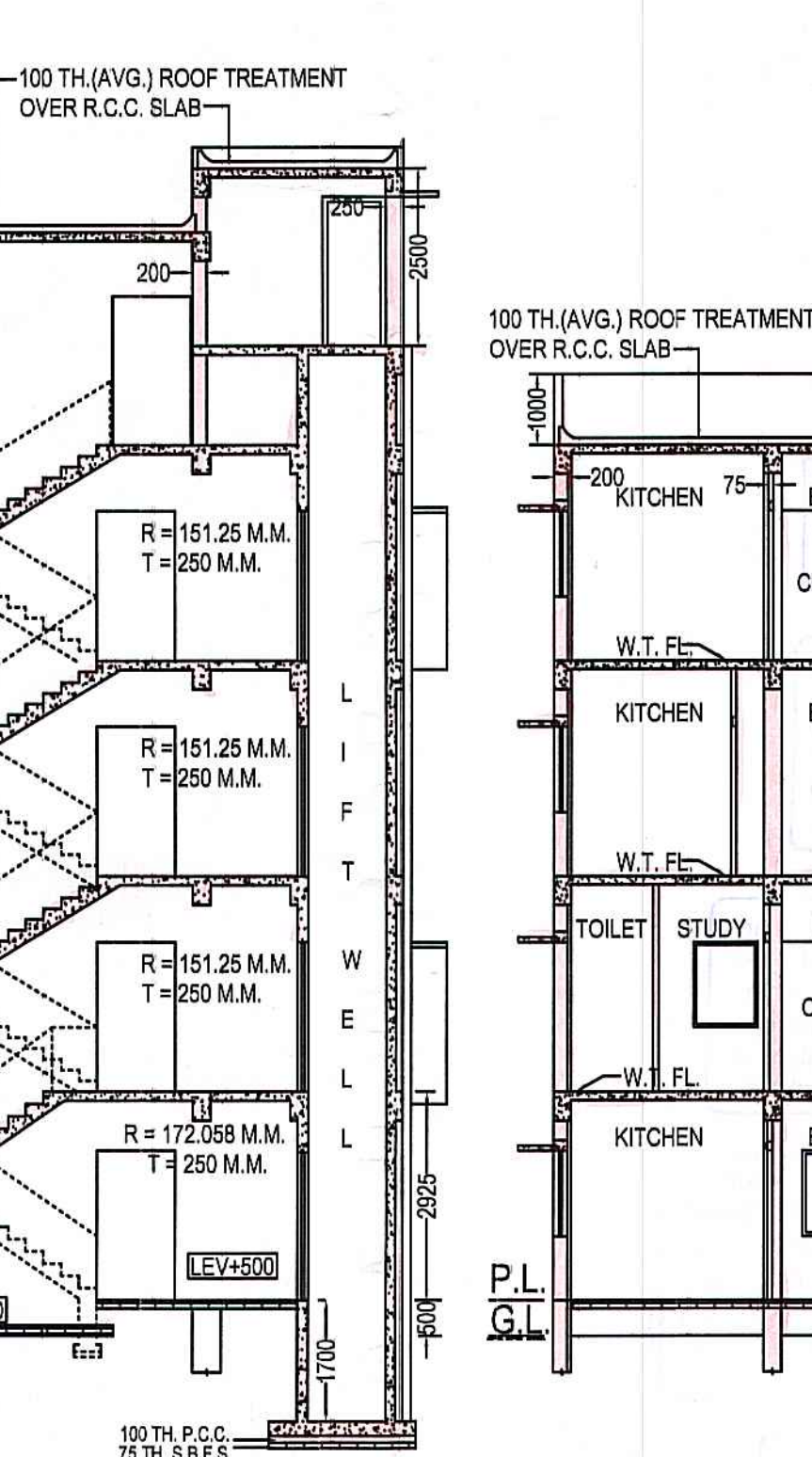
FRONT ELEVATION
SCALE - 1:100



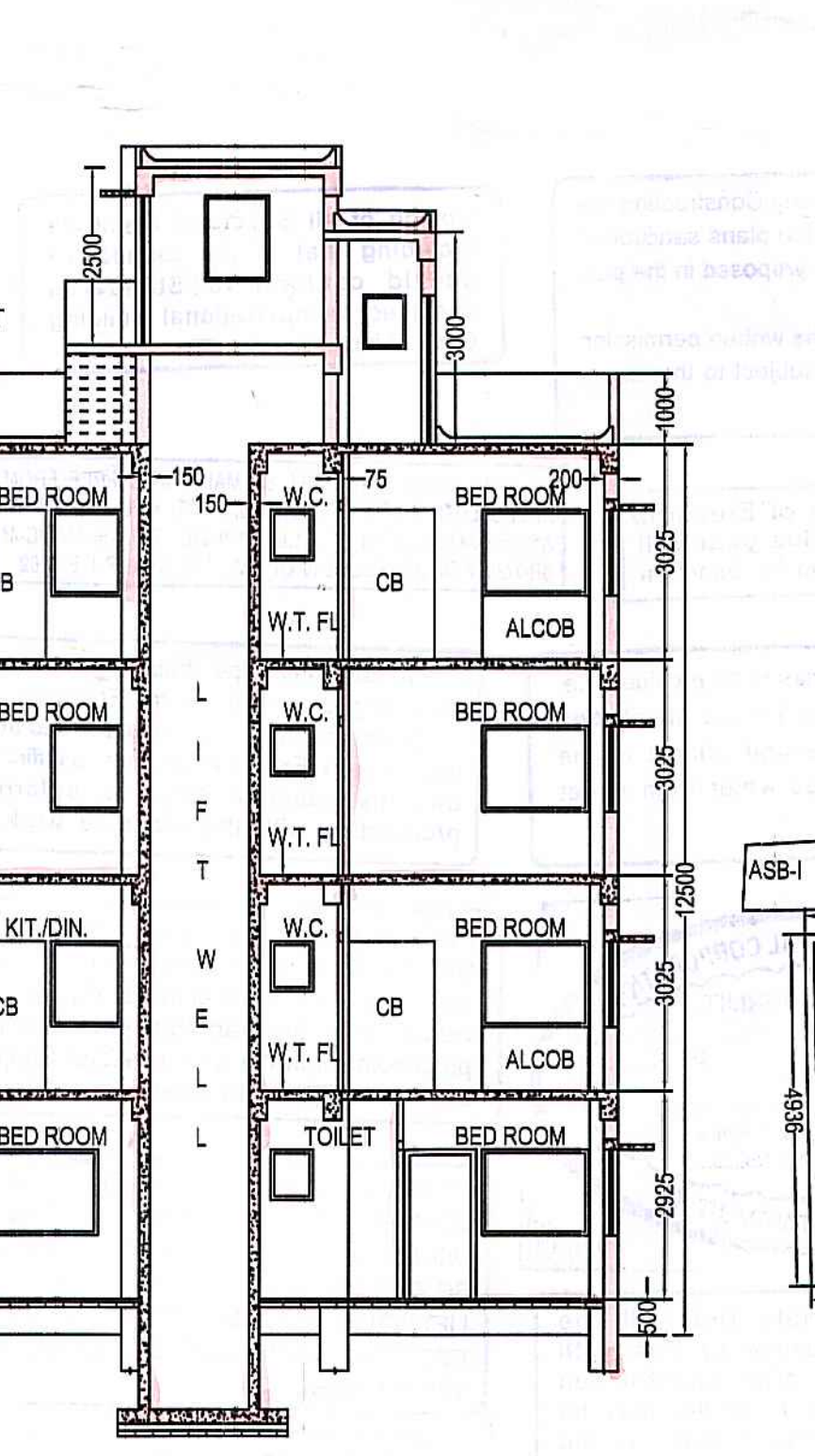
SITE PLAN
SCALE - 1:600



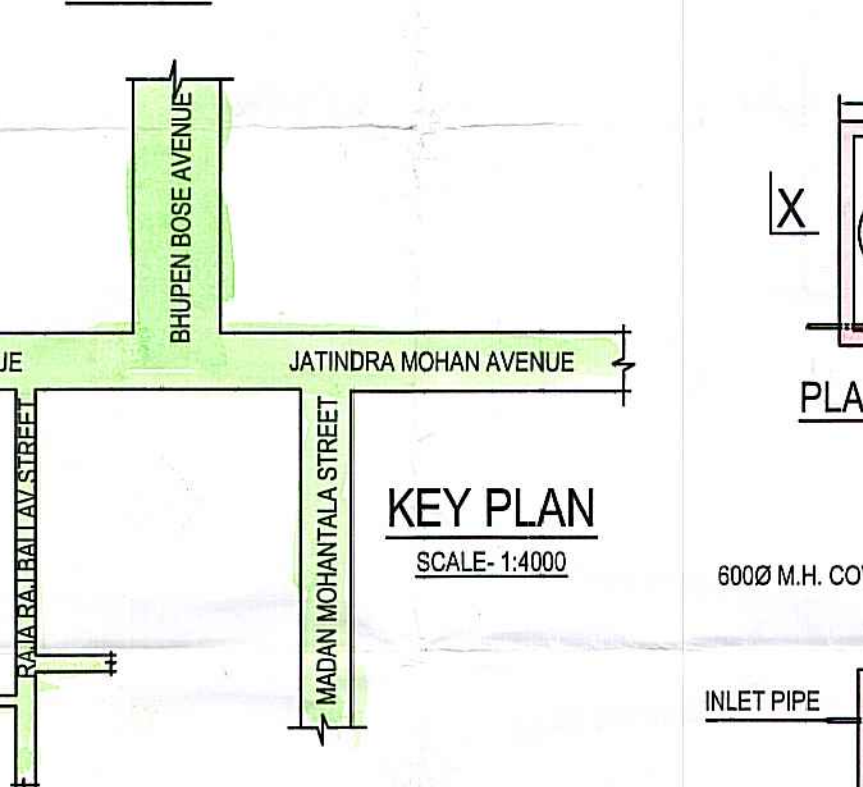
EXISTING GROUND FLOOR PLAN
SCALE - 1:100



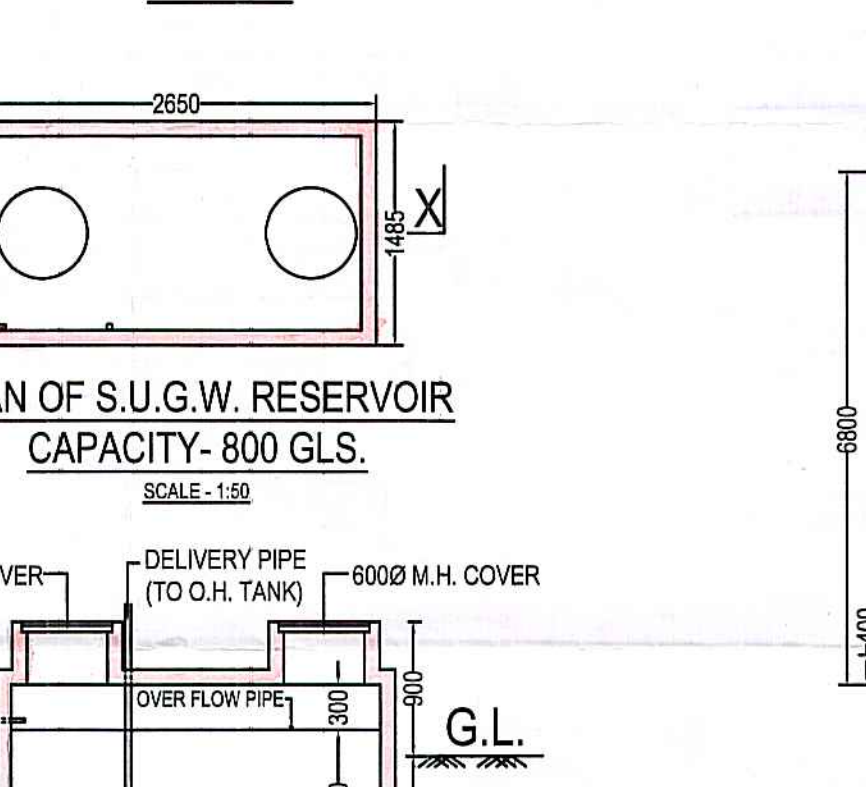
SECTION ON A - A
SCALE - 1:100



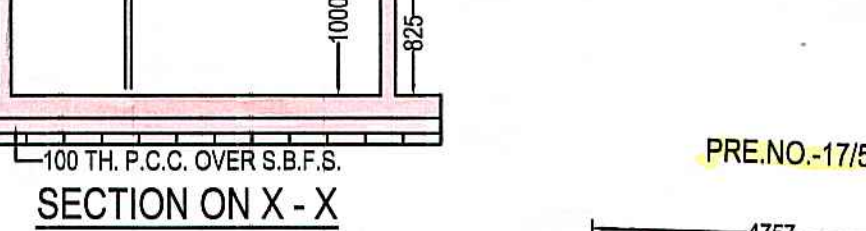
SECTION ON B - B
SCALE - 1:100



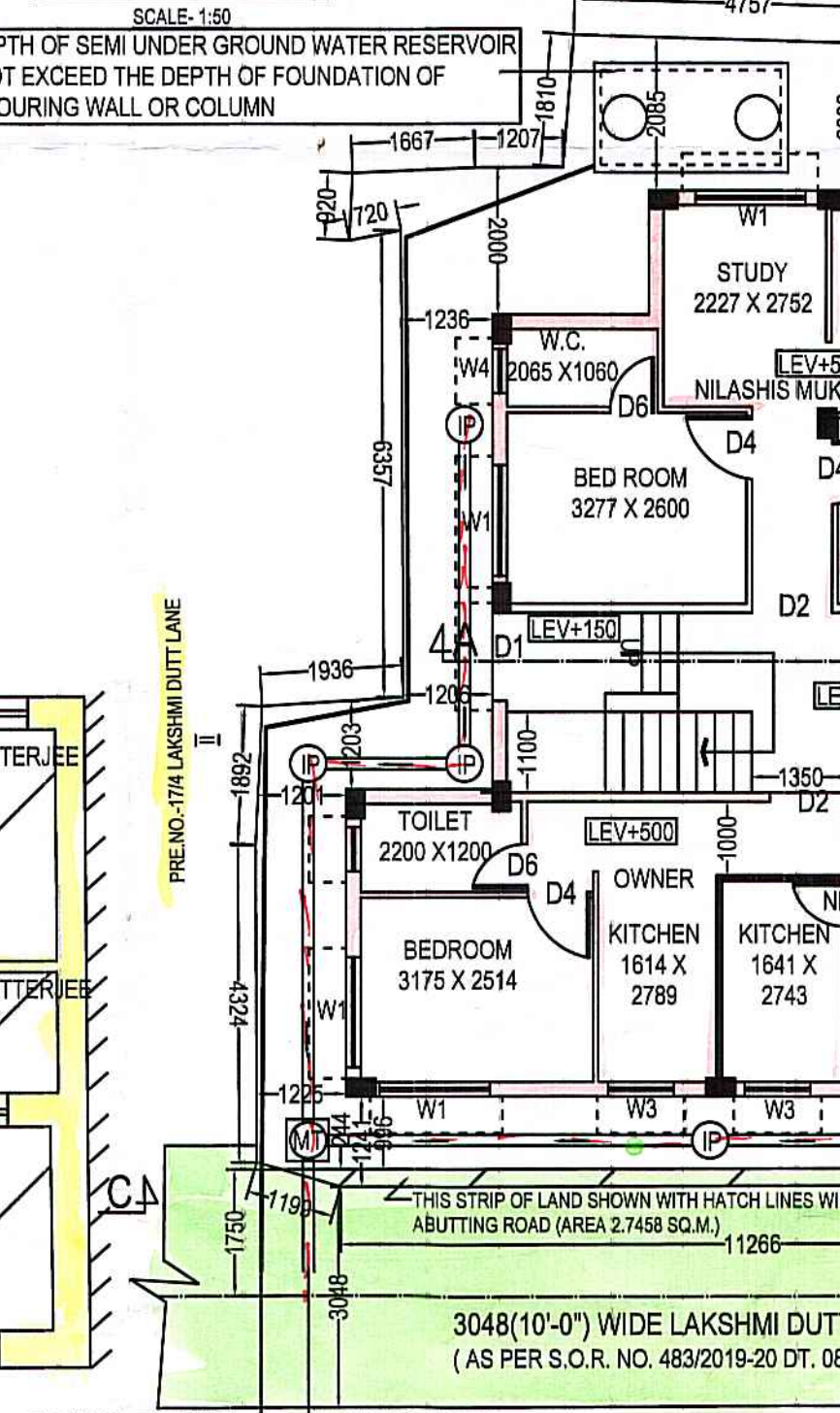
KEY PLAN
SCALE - 1:4000



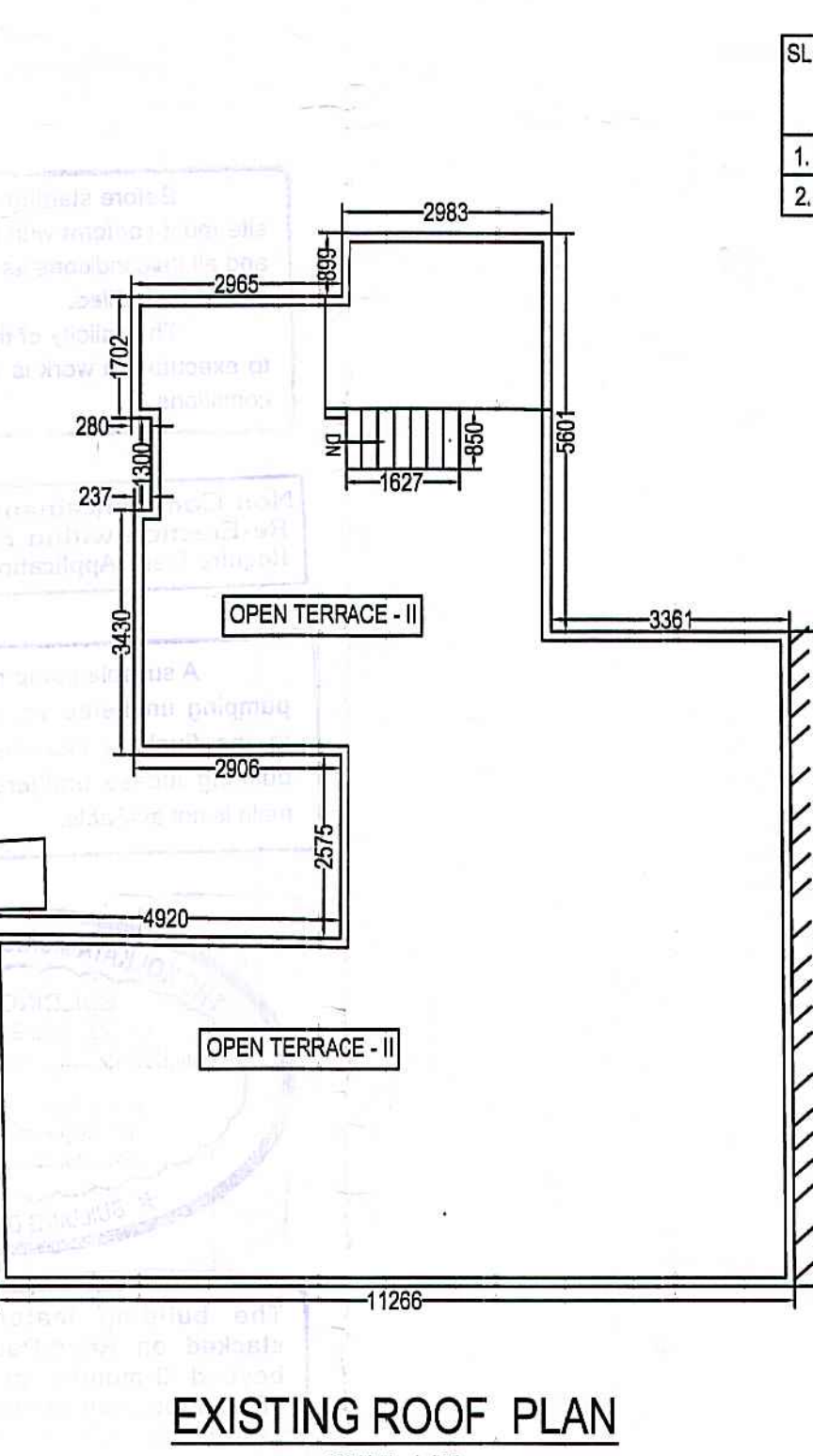
SECTION ON C - C
SCALE - 1:100



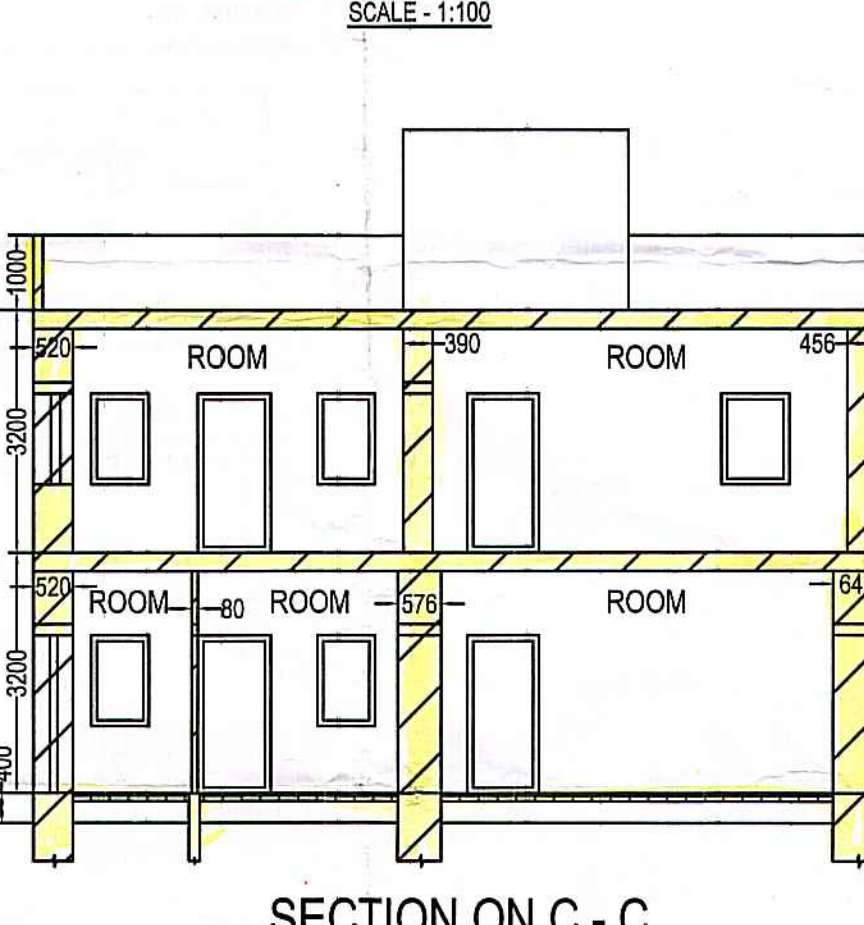
SECTION ON X - X
SCALE - 1:50



PROPOSED GROUND FLOOR PLAN
SCALE - 1:100



EXISTING ROOF PLAN
SCALE - 1:100

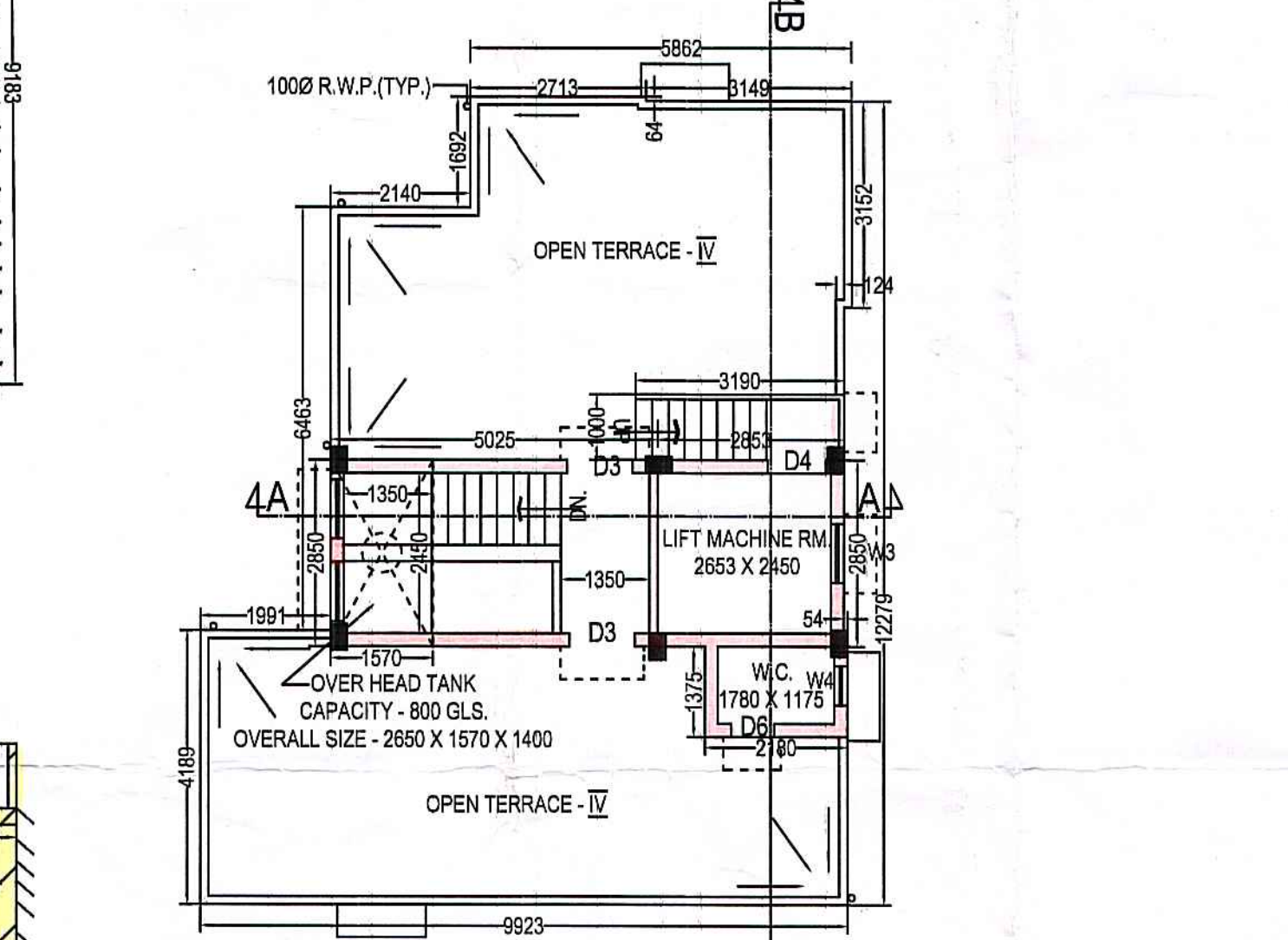


SECTION ON C - C
SCALE - 1:100

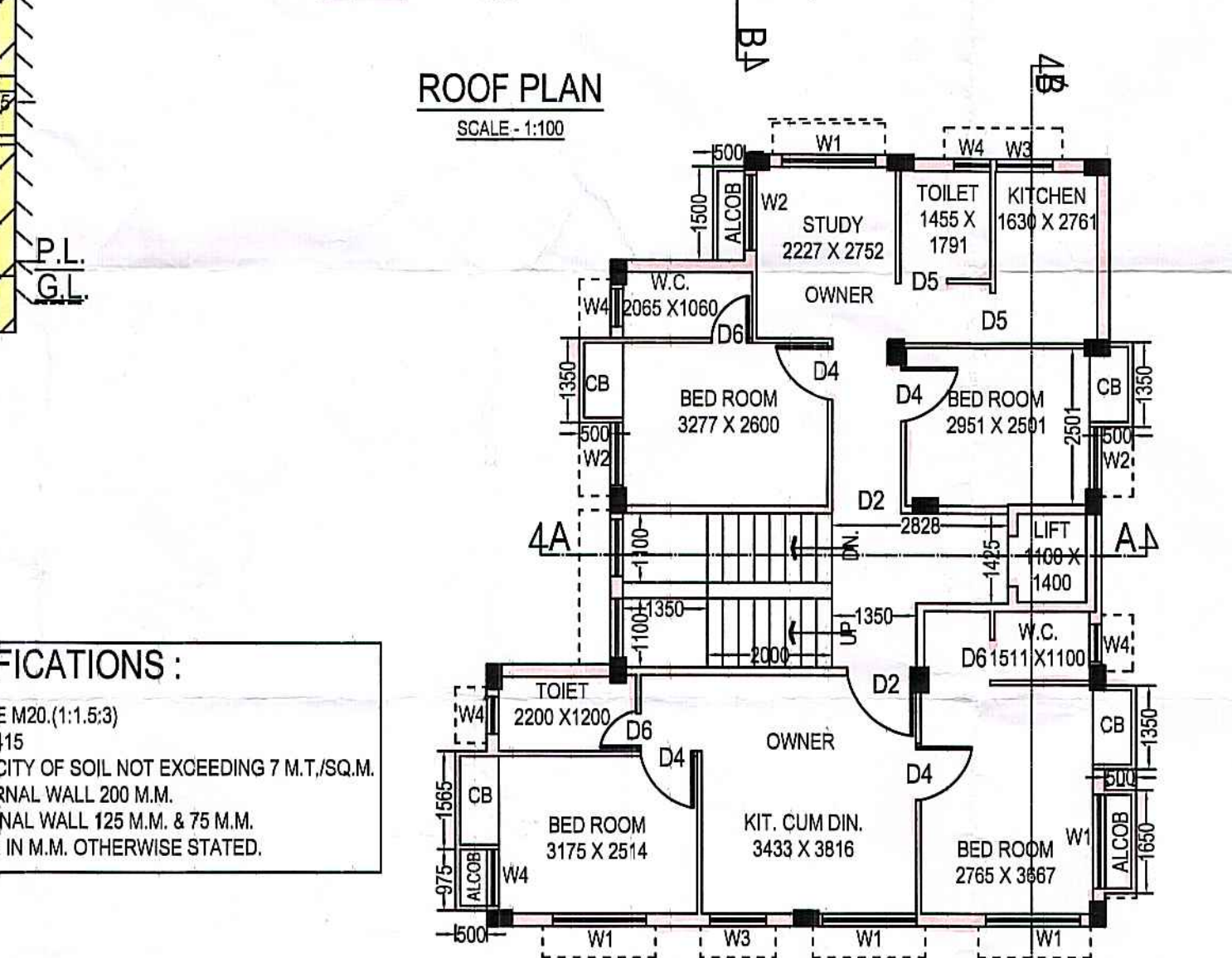
SL.	NAME OF OWNER	USE	FLOOR	EXISTING		PROPOSED	
				OCCUPIED	COMMON	OCCUPIED	COMMON
1.	OWNERS	RESIDENTIAL	GROUND	35.760	13.088	23.380	0.388
2.	OWNERS	RESIDENTIAL	FIRST	25.008	9.139	41.888	0.695
TOTAL				60.768	22.227	65.268	1.083

SL.	NAME OF TENANTS	USE	FLOOR	EXISTING		PROPOSED	
				OCCUPIED	COMMON	OCCUPIED	COMMON
1.	NILASHIS MUKHERJEE (T1)	RESIDENTIAL	GROUND	44.769	16.360	20.907	0.347
2.	DEBASIS CHATTERJEE (T2)	RESIDENTIAL	FIRST	47.344	17.301	41.888	0.735
3.	PARIMAL KUMAR MOITRA (T3)	RESIDENTIAL	FIRST	11.078	4.048	19.720	0.327
TOTAL				103.191	37.709	82.515	1.409

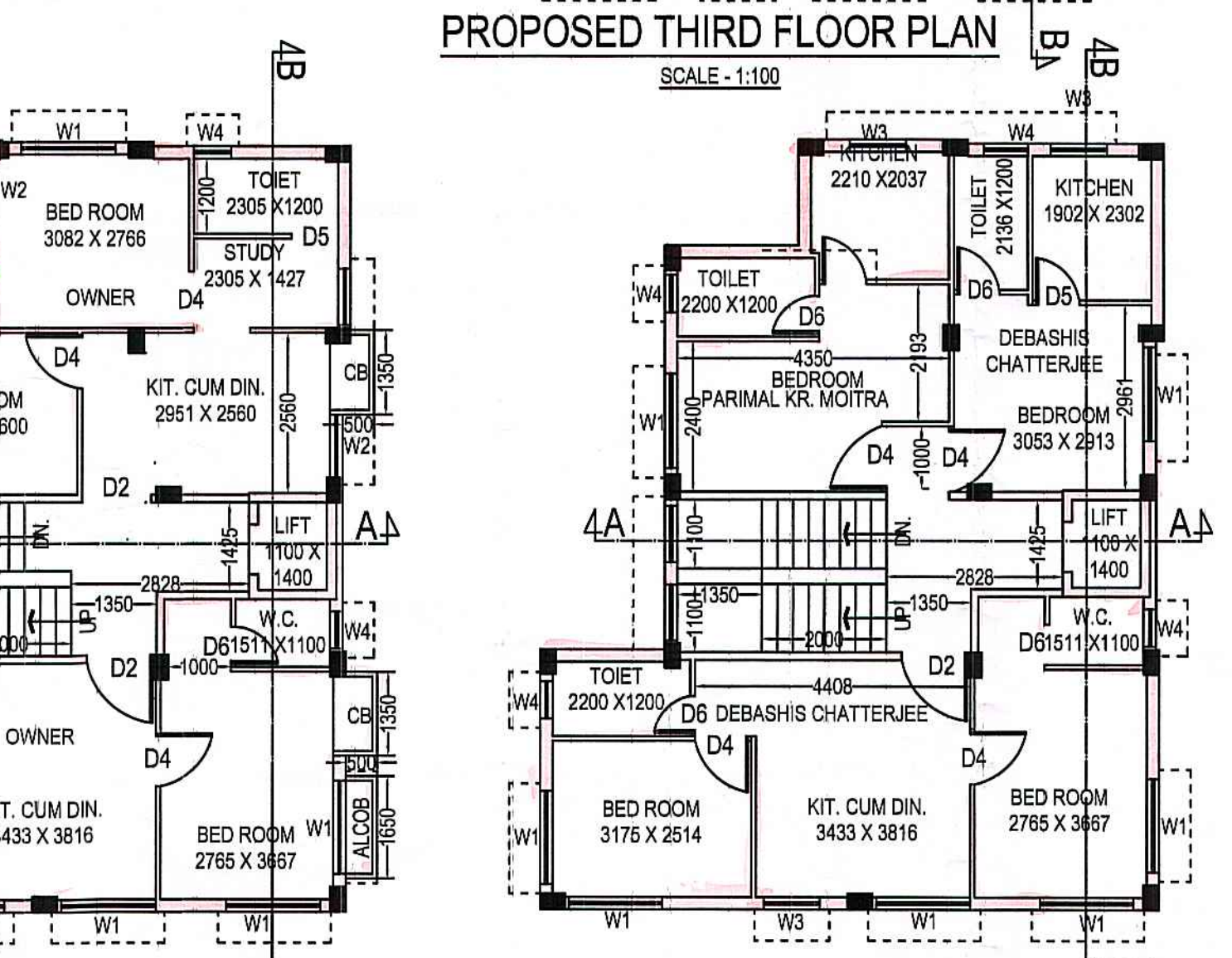
TOTAL EXEMPTED AREA: EXISTING = 7.823 SQ.M., PROPOSED = 54.484 SQ.M. TOTAL 140.900



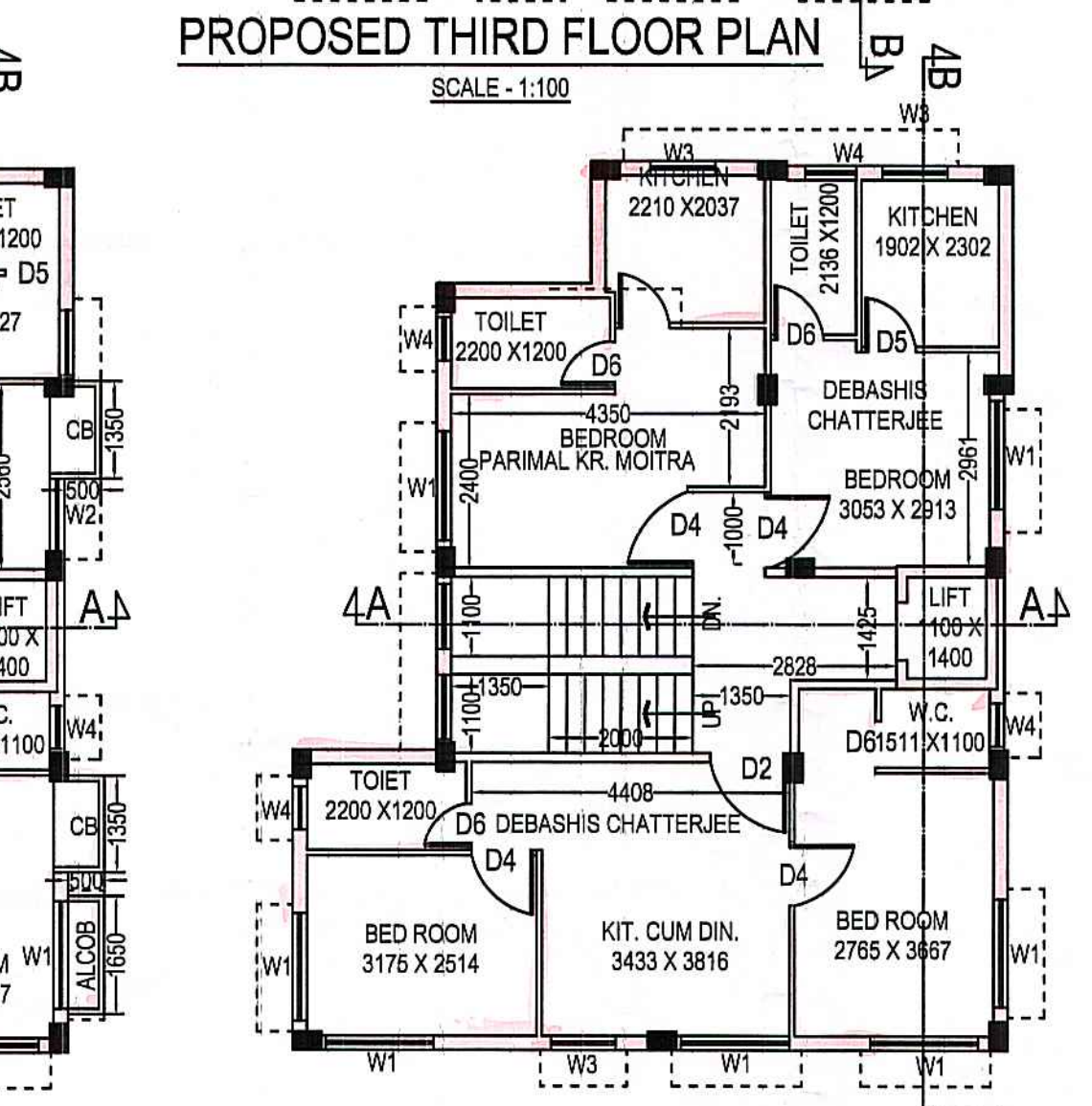
ROOF PLAN
SCALE - 1:100



PROPOSED THIRD FLOOR PLAN
SCALE - 1:100



PROPOSED FIRST FLOOR PLAN
SCALE - 1:100



PROPOSED SECOND FLOOR PLAN
SCALE - 1:100

STATEMENTS OF PLAN PROPOSAL	
PART-A	PART-B
1. ASSESSEE NO. 11002800410	1. GROUND COVERAGE: 55.65% = 102.386 SQ.M.
2. DETAILS OF REGISTRATION DEED	2. F.A.R. CONSUMED: 1.805
3. DEED NO. 4215/04217/4218 & 517 BK. NO. I, VOL. NO. 1903/2018 & 2007	3. TOTAL COVERED AREA: 404.904 SQ.M.
4. (i) REGISTERED FROM: ARA-II, KOLKATA.	4. TOTAL SERVICE AREA:
5. DETAILS OF POWER OF ATTORNEY: DEED NO. 1903/0165 & 1902/0174 BK. NO. IV, VOL. NO. 1903/2018 & 1902/2019	5. TOTAL NO. OF PARKING (MANDATORY) - N.A.
6. NO. OF CAR PARKING PROVIDED: NIL	6. NO. OF CAR PARKING PROVIDED: NIL
7. AREA OF STAIRHEAD ROOM = 14.321 SQ.M.	7. AREA OF STAIRHEAD ROOM = 14.321 SQ.M.
8. AREA OF LIFT MACHINE ROOM = 8.131 SQ.M.	8. AREA OF LIFT MACHINE ROOM = 8.131 SQ.M.
9. AREA OF CB / ALCOB = 9.740 SQ.M.	9. AREA OF CB / ALCOB = 9.740 SQ.M.
10. AREA OF ROOF TANK = 4.180 SQ.M.	10. AREA OF ROOF TANK = 4.180 SQ.M.
11. AREA OF STAIR FOR L.M.R. = 3.190 SQ.M.	11. AREA OF STAIR FOR L.M.R. = 3.190 SQ.M.

4(a) AREA OF THE LAND: 183.946 SQ.M.
(b) NO. OF STOREY - FOUR
5. NO. OF TENEMENTS: 10 NOS.
6. SIZE OF TENEMENTS: < 60 SQ.M. = 10 NOS.

F.A.R. CALCULATION CHART

- AREA OF THE LAND (AS PER DEED) : 2 COT, 12 CH. 00 SFT. = 183.946 SQ.M.
- AREA OF THE LAND (AS PER PHYSICAL MEASUREMENT) = 183.946 SQ.M.
- ROAD WIDTH: 3.048 M. (AS PER S.O.R. NO. 483/2019-20 DATED. 08.11.2019)
- EXISTING GROUND FLOOR COVD. AREA (INCL. STAIRCASE) = 117.410 SQ.M.
- EXISTING FIRST FLOOR COVD. AREA (INCL. STAIRCASE) = 114.287 SQ.M.
- TOTAL EXISTING COVD. AREA (INCL. STAIRCASE) = 231.697 SQ.M.
- EXISTING STAIR AREA (EXEMPTED) IN GROUND FLOOR = 3.434 SQ.M.
- EXISTING STAIR AREA (EXEMPTED) IN FIRST FLOOR = 4.389 SQ.M.
- EXISTING NET COVD. AREA = 231.697 - (3.434+4.389) = 223.874 SQ.M.
- PROPOSED GROUND FLOOR COVD. AREA (INCL. STAIRCASE) = 102.381 SQ.M.
- PROPOSED FIRST FLOOR COVD. AREA (INCL. STAIRCASE) = 100.841 SQ.M.
- PROPOSED SECOND FLOOR COVD. AREA (INCL. STAIRCASE) = 100.841 SQ.M.
- PROPOSED THIRD FLOOR COVD. AREA (INCL. STAIRCASE) = 100.841 SQ.M.
- PROPOSED TOTAL COVD. AREA = 102.381 + (3 X 100.841) = 404.904 SQ.M.
- PROPOSED EXEMPTED AREA IN ALL FLOORS = 4 X 13.621 = 54.484 SQ.M.
- EXISTING TENANTED AREA IN GROUND FLOOR:
- 8(a) NILASHIS MUKHERJEE = 61.129 SQ.M.
- EXISTING TENANTED AREA IN FIRST FLOOR:
- 9(a) 1) DEBASIS CHATTERJEE = 64.845 SQ.M.
2) PARIMAL KUMAR MOITRA = 15.126 SQ.M.
10. TOTAL TENANTED AREA IN GROUND & FIRST FLOOR = 140.900 SQ.M.
- 11(a) OWNER'S OCCUPIED AREA IN GROUND FLOOR = 48.828 SQ.M.
- 11(b) OWNER'S OCCUPIED AREA IN FIRST FLOOR = 34.147 SQ.M.
- 11(c) TOTAL OWNER'S OCCUPIED AREA = 82.975 SQ.M.
12. PERMISSIBLE FLOOR AREA = 2 X 140.900 + 1 X 82.975 = 364.775 SQ.M.
13. PERM. F.A.R. : 364.775/183.946 = 1.983
14. EXISTING GROUND COVERAGE = 117.410/183.946 = 63.828%
15. PERM. GROUND COVERAGE: 60% = 110.367 SQ.M.
16. PROPOSED GROUND COVERAGE : 102.381/183.946 = 55.658%
17. PROPOSED TOTAL COVD. AREA = 404.904 SQ.M.
18. NO. OF TENEMENTS = 10
19. NO. OF PARKING REQD. - N.A.
20. NO. OF PARKING PROVIDED - N.A.
21. PROP. F.A.R. = (404.904 - 54.484)/183.946 = 1.905

DOORS AND WINDOWS SCHEDULE

MKD.	SIZE OF DOOR	MKD.	SIZE OF WINDOW
D1	1200 X 2100	W1	1500 X 1200
D2	1100 X 2100	W2	1200 X 1200
D3	1000 X 2100	W3	900 X 1200
D4	900 X 2100	W4	600 X 700
D5	750 X 2100		
D6	650 X 2100		

WE DO HEREBY DECLARE WITH FULL RESPONSIBILITY THAT I SHALL ENGAGE L.B.S. & E.S.E. DURING CONSTRUCTION. I SHALL FOLLOW THE INSTRUCTION OF L.B.S. & E.S.E. DURING CONSTRUCTION OF THE BUILDING (AS PER PLAN) K.M.C. WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING AND ADJOINING STRUCTURE. IF ANY SUBMITTED DOCUMENT ARE FAKE, THE K.M.C. AUTHORITY MAY REVOKE THE SANCTION PLAN. THE CONSTRUCTION OF S.U.G.W.R. & SEPTIC TANK TAKEN UNDER THE GUIDANCE OF L.B.S./E.S.E. BEFORE STARTING OF BUILDING FOUNDATION.

MANAS DEVELOPERS
CONSTITUTED ATTORNEY OF
KRISHNA DAS
BISWANATH MUKHERJEE
SUKHEN BASCH
ANAL KUMAR MOITRA
JUTHIKA MAITRA
SIGN. OF OWNER(S)/APPLICANT(S)

CERTIFICATE OF GEO TECHNICAL ENGINEER

UNDERSIGNED HAS INSPECTED THE SITE & CARRIED OUT THE SOIL INVESTIGATION THEREIN. IT IS CERTIFIED THAT EXISTING SOIL OF THE SITE IS ABLE TO CARRY OUT THE LOAD FROM THE PROPOSED CONSTRUCTION & THE FOUNDATION SYSTEM THEREIN IS SAFE AND STABLE IN ALL RESPECT FROM GEO TECHNICAL POINT OF VIEW.

RUPAK KUMAR BANERJEE
B.C.E., M.E., M.I.S., M.I.E.,
G.T./13 (K.M.C.), B.M./GEO-TECH-1002
01919P SCNG, TOLL-FREE: 022-263090004
SIGN. OF G.T.E.

CERTIFICATE OF STRUCTURAL ENGINEER

I HEREBY CERTIFY THAT THE STRUCTURAL DESIGN AND DRAWING OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOAD INCLUDING SEISMIC LOADS AS PER NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECT.

DEBANJAN GHOSH
M. TECH (STRUCTURE)
B.S.E. No. 1/242
Kolkata Municipal Corporation
SIGN. OF E.S.E.

CERTIFICATE OF L.B.S.

I HEREBY DECLARE WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISIONS OF C.M.C. BUILDING RULES, 2009, AS AMENDED FROM TIME TO TIME AND THAT THE SITE CONDITIONS INCLUDING THE WIDTH OF THE ABUTTING ROAD CONFORM WITH THE PLAN AND IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK.

DEBASIS CHAKRABORTY
Licensed Building Surveyor
Kolkata Municipal Corporation
L.B.S. Regd. No. - 1/635
SIGN. OF L.B.S.

PROPOSED PLAN OF FOUR STORIED RESIDENTIAL BUILDING AT PREMISES NO. 17/3, LAKSHMI DUTT LANE, KOLKATA - 700003, WARD NO. 008, BR. NO. I, U/S 393 OF K.M.C. ACT, 1980 COMPLYING K.M.C. BUILDING RULE 142 OF K.M.C. BUILDING RULES 2009.

